

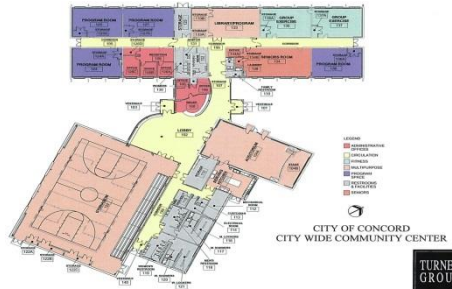
# State of the City

## City of Concord, New Hampshire



April 13, 2017

[www.concordnh.gov](http://www.concordnh.gov)



# Presentation Topics

- ❑ Economic Development
- ❑ Substance Misuse/Abuse
- ❑ Financials
- ❑ Major Capital Projects

# **Greater Concord Chamber of Commerce**

## **Primary Recommendations:**

- Fund an Economic Development position
- Provide adequate funding to fulfill an ambitious work plan
- Create an Economic Development Strike Force
- Conduct a Needs Assessment and Demand Analysis for Establishing and Sustaining a Business Incubator
- Acknowledge and Foster the Community's Cultural Climate and Creative Economy

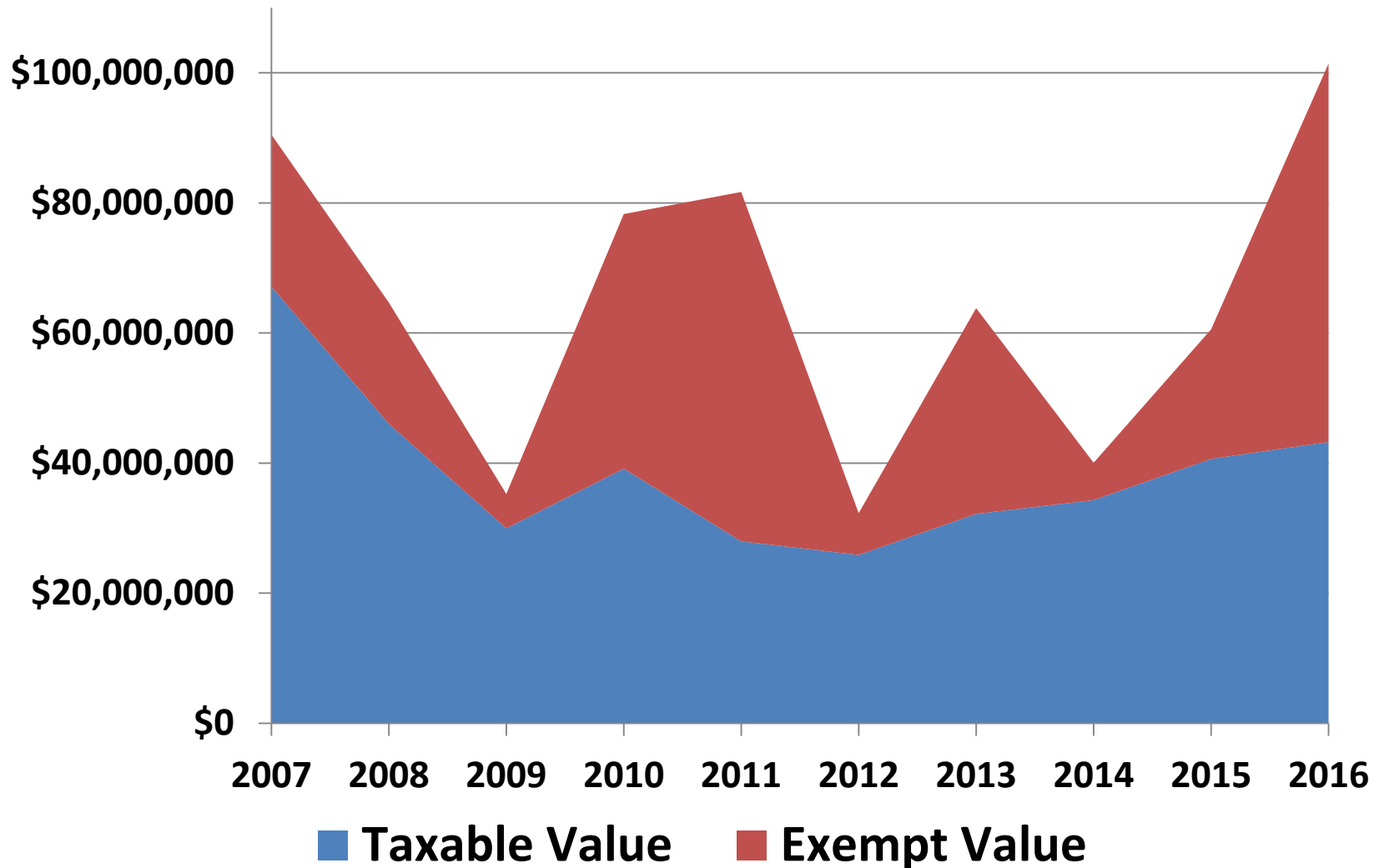
# **Economic Development Director**

Initial focus will include:

- Meet with local businesses and property owners to understand individual and collective needs
- Connect her existing site selection ties to Concord
- Begin development of branding and marketing plan
- Build foundation of an Economic Development Plan
- Work with partners on the Incubator Analysis

# Growth in Valuation

## 2007 - 2016



# Main Street Complete Streets Project





# Main Street Complete Streets Project



# Main Street Complete Streets Project





# Main Street Complete Streets Project





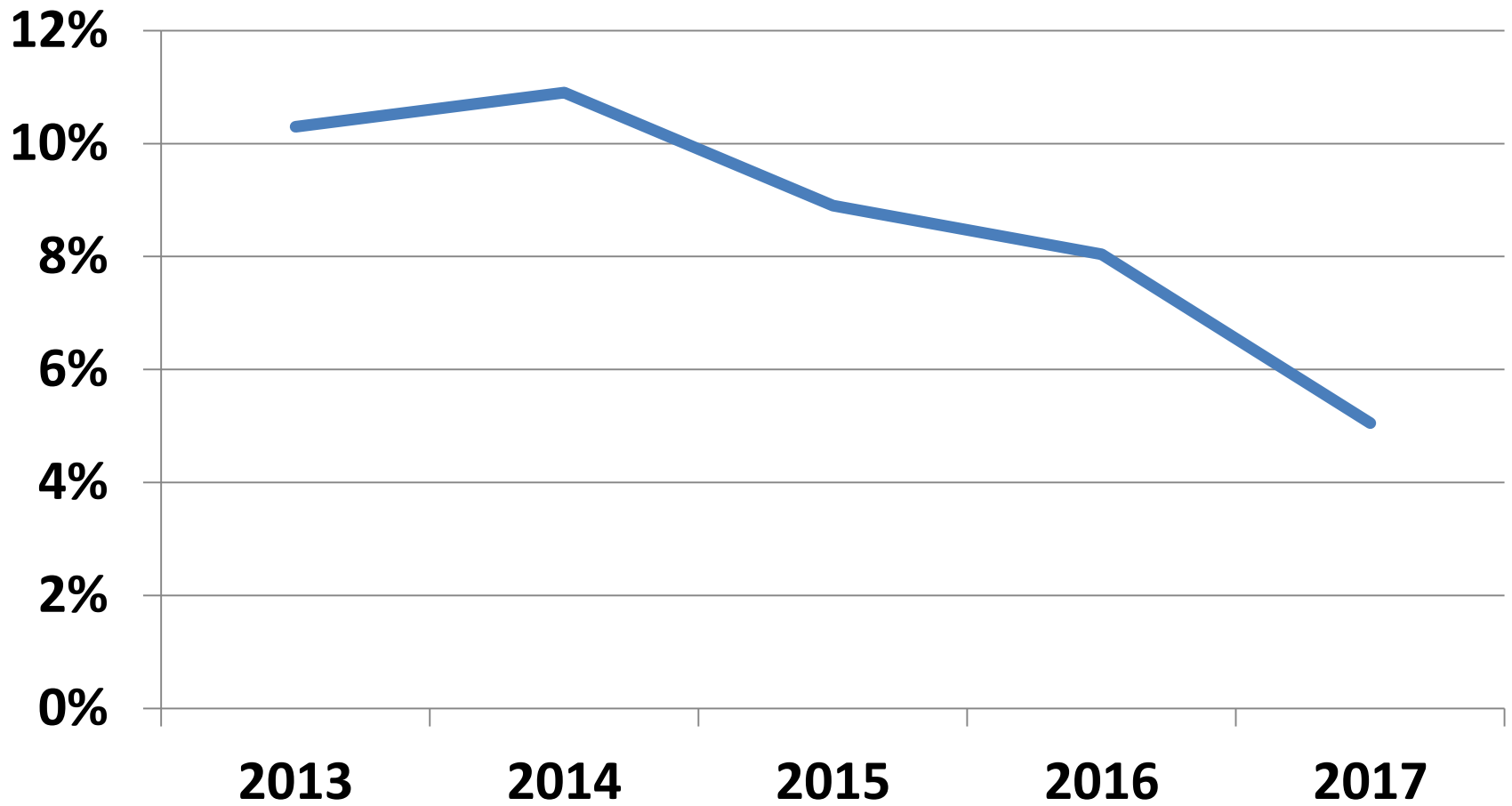
# Downtown Market Rate Housing

- 2003 City Market Study estimated demand for 50-70 units
- 2011 Intown Concord Prospective Tenant Survey
- 2013 Endicott Hotel
  - 27 Units
- 2017 Remi Block
  - 20 Units
- 2017 Sacred Heart Church
  - 10 Units
- More coming soon!



# Downtown Concord

## Ground Floor Commercial Vacancy



# Heights Retail Vacancy

	<u>2016</u>	<u>2017</u>
Fort Eddy Road	2.4%	2.5%
Loudon Rd/D'Amante Dr	6.3%	6.0%

2017 National Average: 10.6% to 11.5%

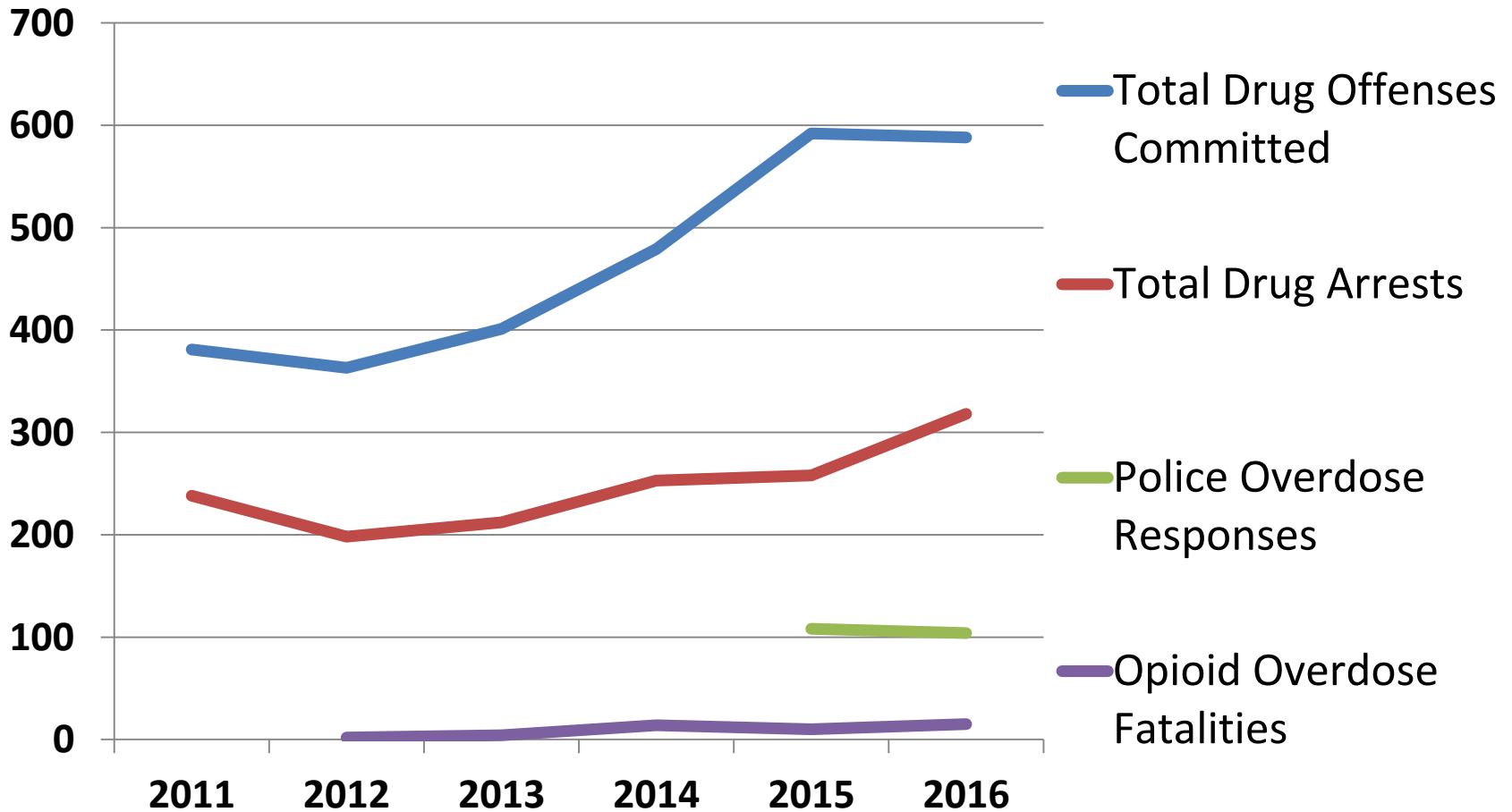


# Unemployment

	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>
Concord	4.8%	3.8%	3.2%	2.4%
Keene	4.9%	4.1%	3.5%	2.5%
Manchester	5.6%	4.6%	3.8%	2.9%
Nashua	5.9%	5.1%	4.2%	3.3%
Portsmouth	4.1%	3.5%	2.6%	2.0%

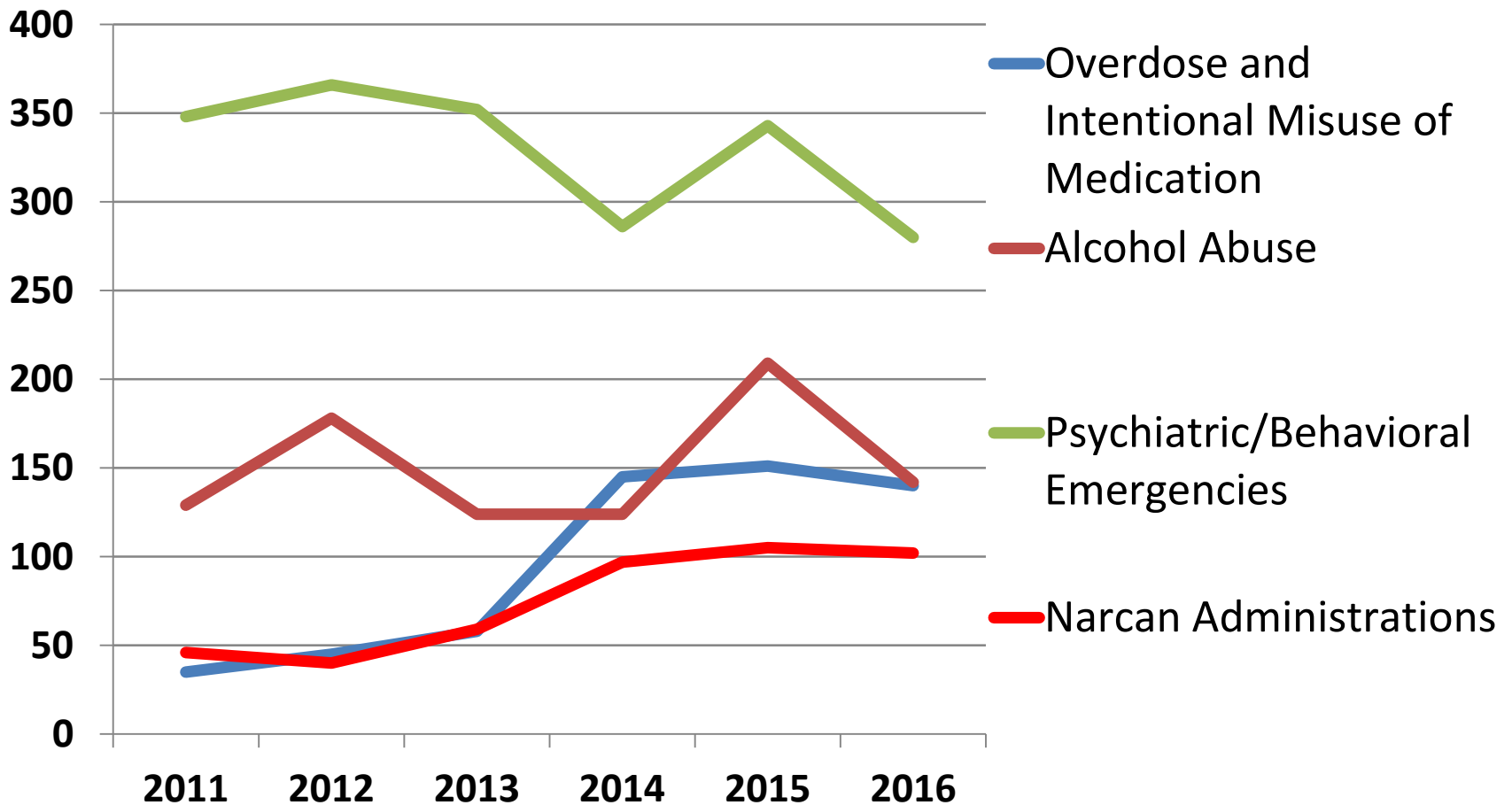
# Drug Overdoses/Arrests

## Concord Police Department - Years 2011 – 2016



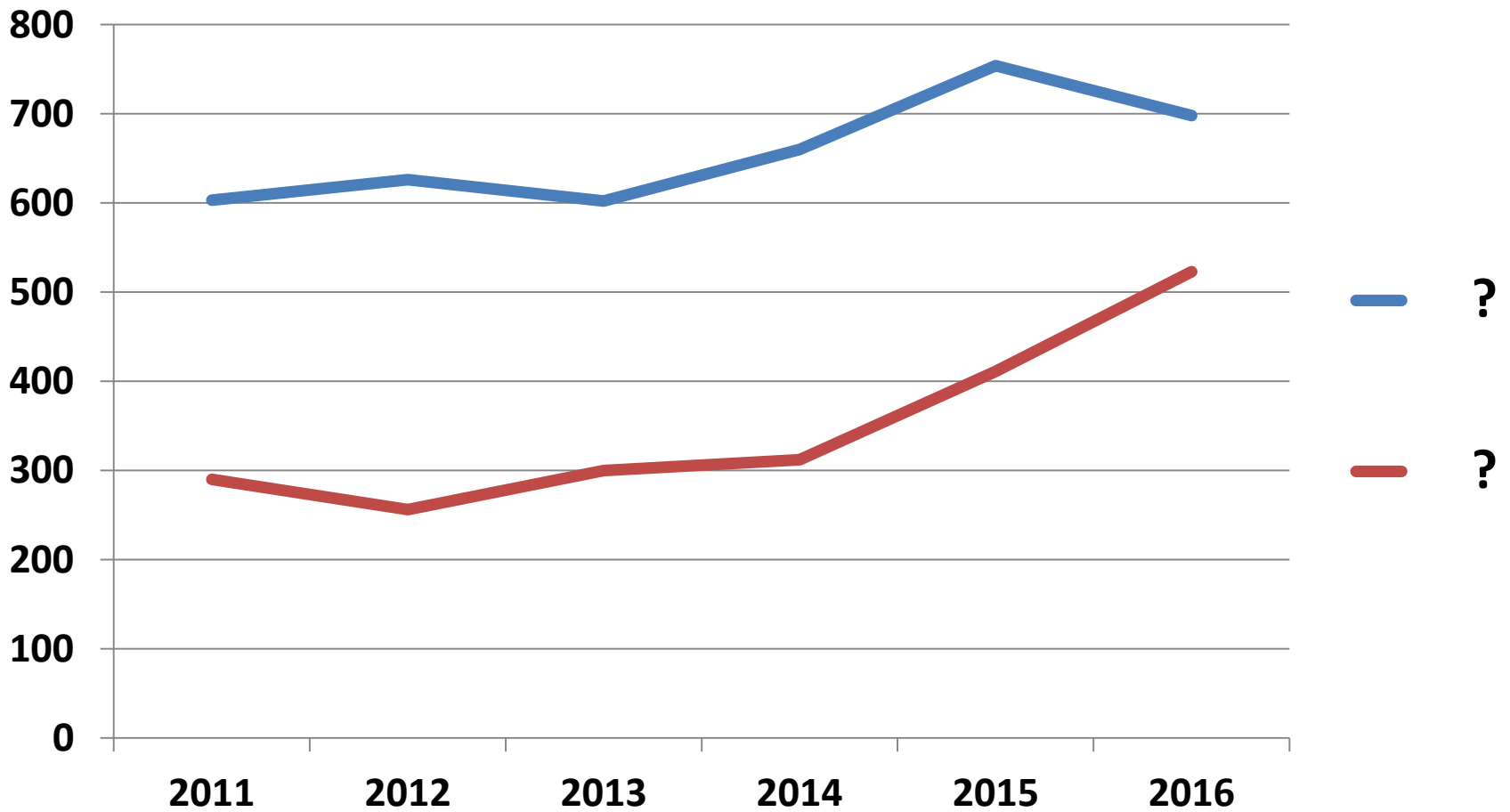
# Drugs/Alcohol/Behavioral Emergencies

## Concord Fire Department - Years 2011 - 2016



# More Emergency Data

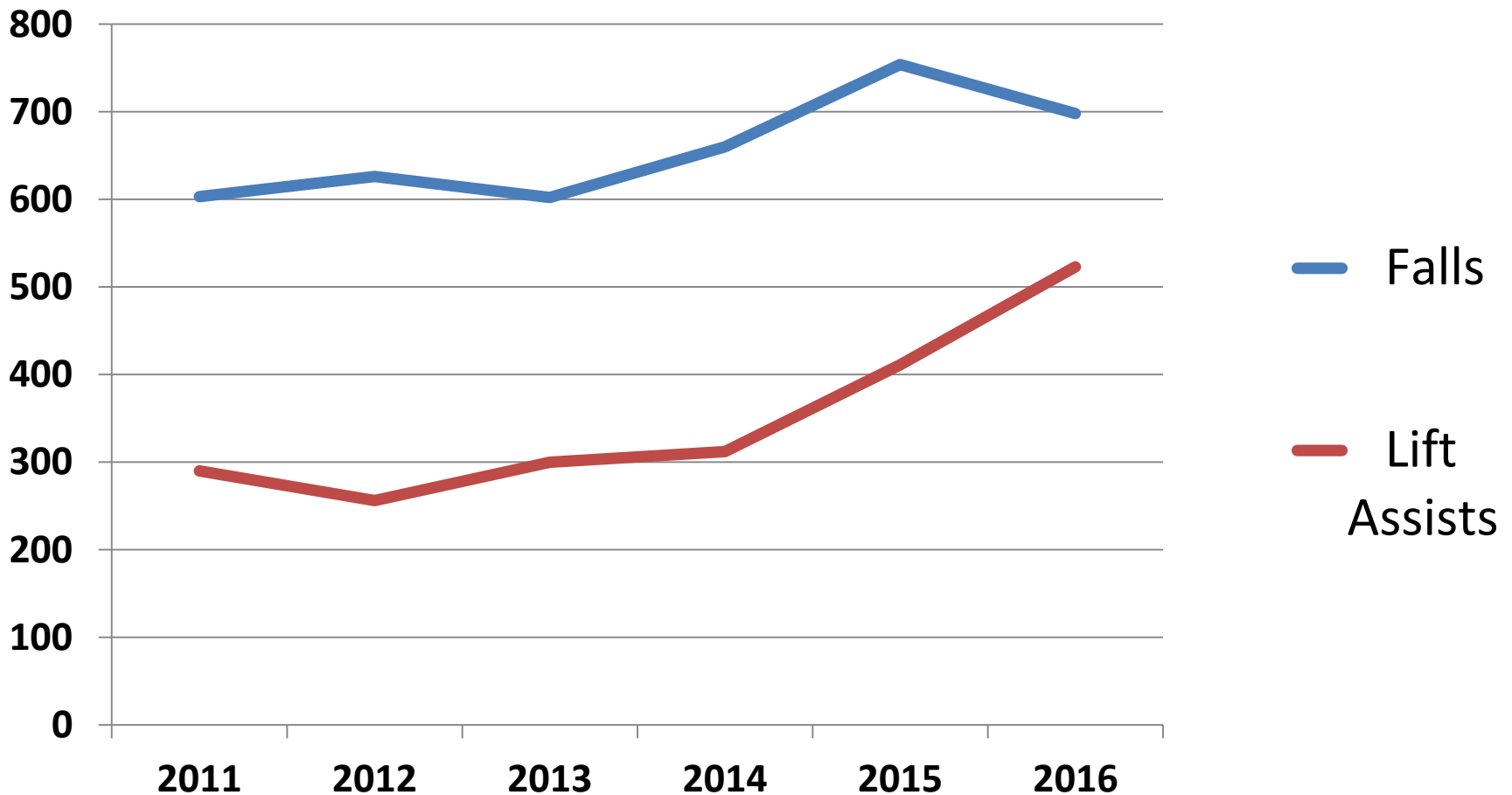
## Years 2011 - 2016





# Falls and Lift Assists

## Concord Fire Department - Years 2011 - 2016



# City Financials

- S & P Bond Rating = AA+
- 8th Consecutive Balanced Budget
- January Bond Sale = 2.439%
- Certificate of Achievement for Excellence in Financial Reporting – 22<sup>nd</sup> year
- Certificate of Recognition for Budget Preparation – 2<sup>nd</sup> year

# **FY 2017 Capital Projects**

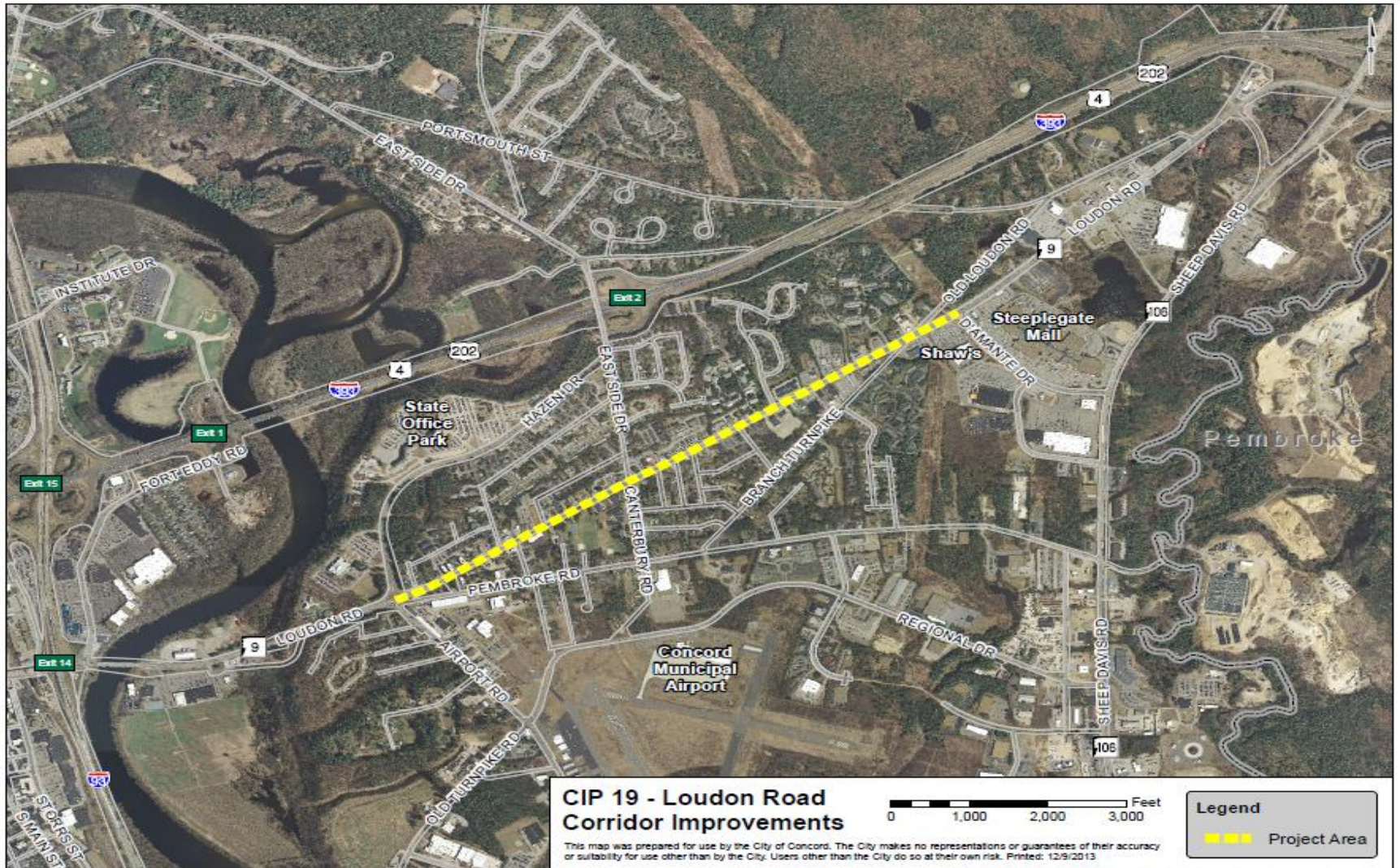
- Loudon Road
- Neighborhood Community Pool Replacements
- Multi-Generational Community Center
- Exit 16 Roundabout

# Sewalls Falls Bridge 2017





# Loudon Road





# Neighborhood Community Pool Replacements

**2016 – Rolfe Park**  
**\$391,229**

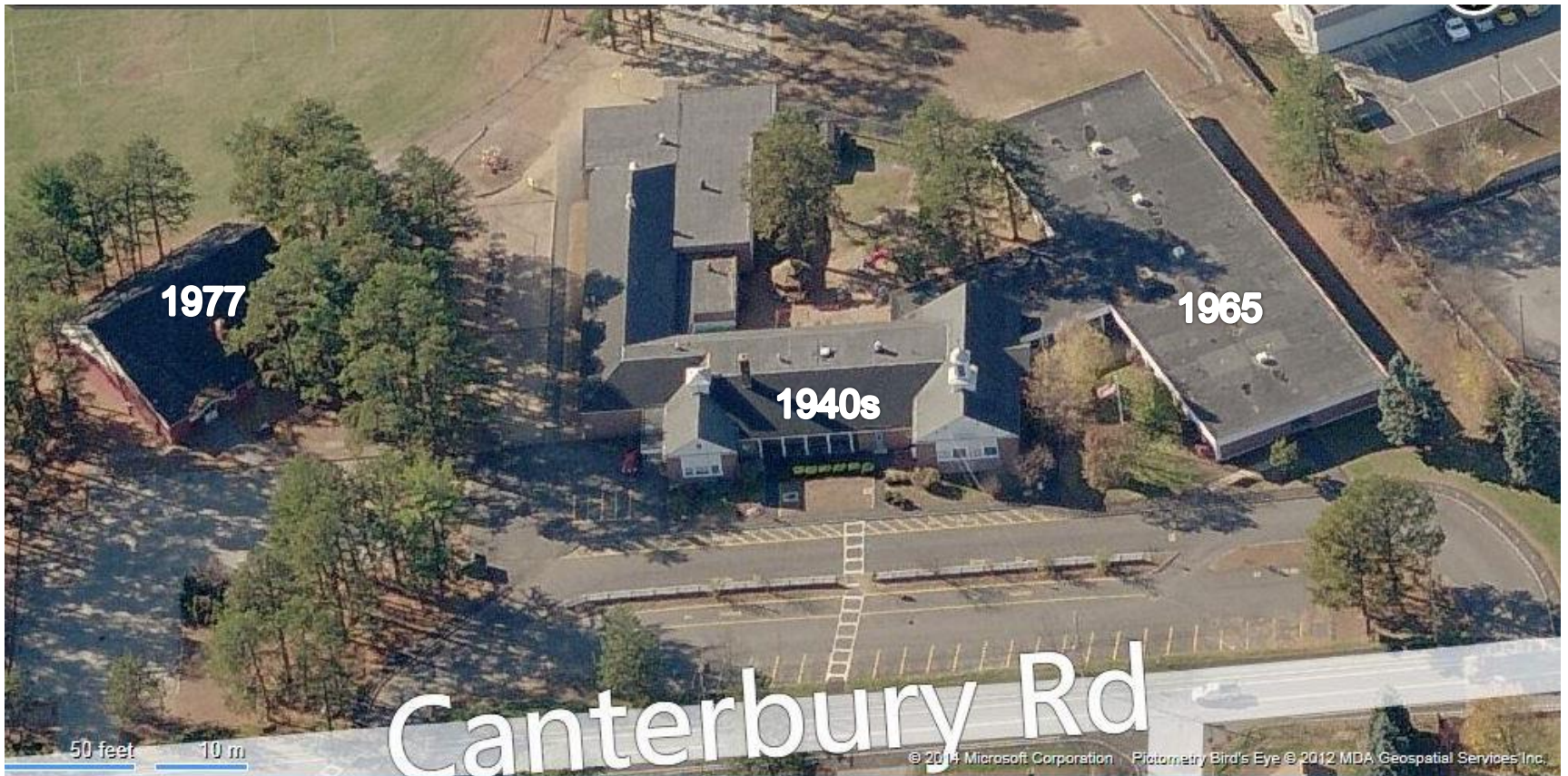
**2017 – Kimball Park**  
**\$425,000**

**2018 – Keach Park**  
**\$535,000**

**CH+RA Donations**

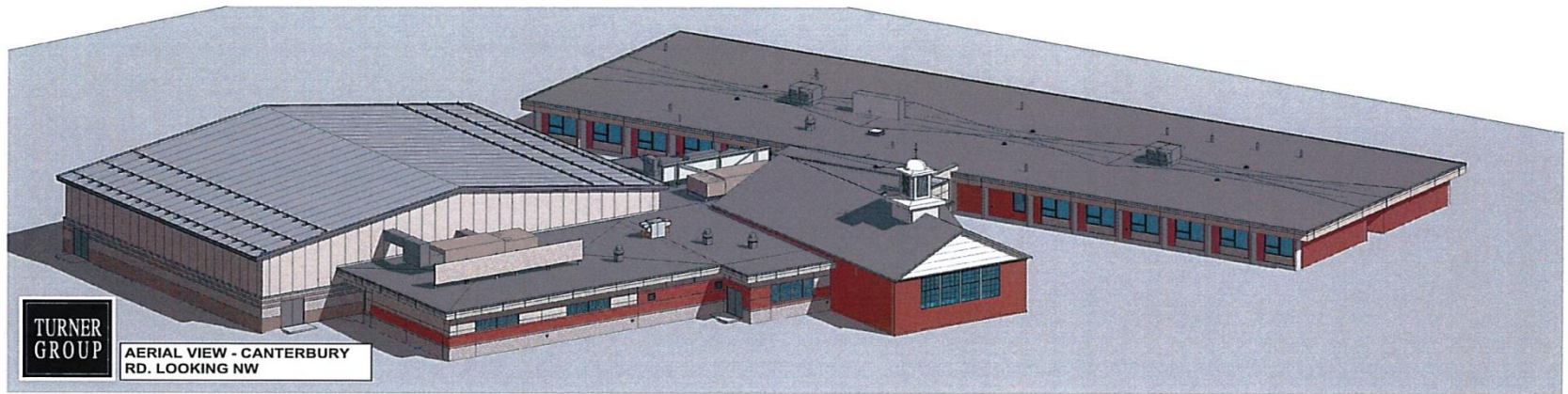


# Multi-Generational Community Center Project

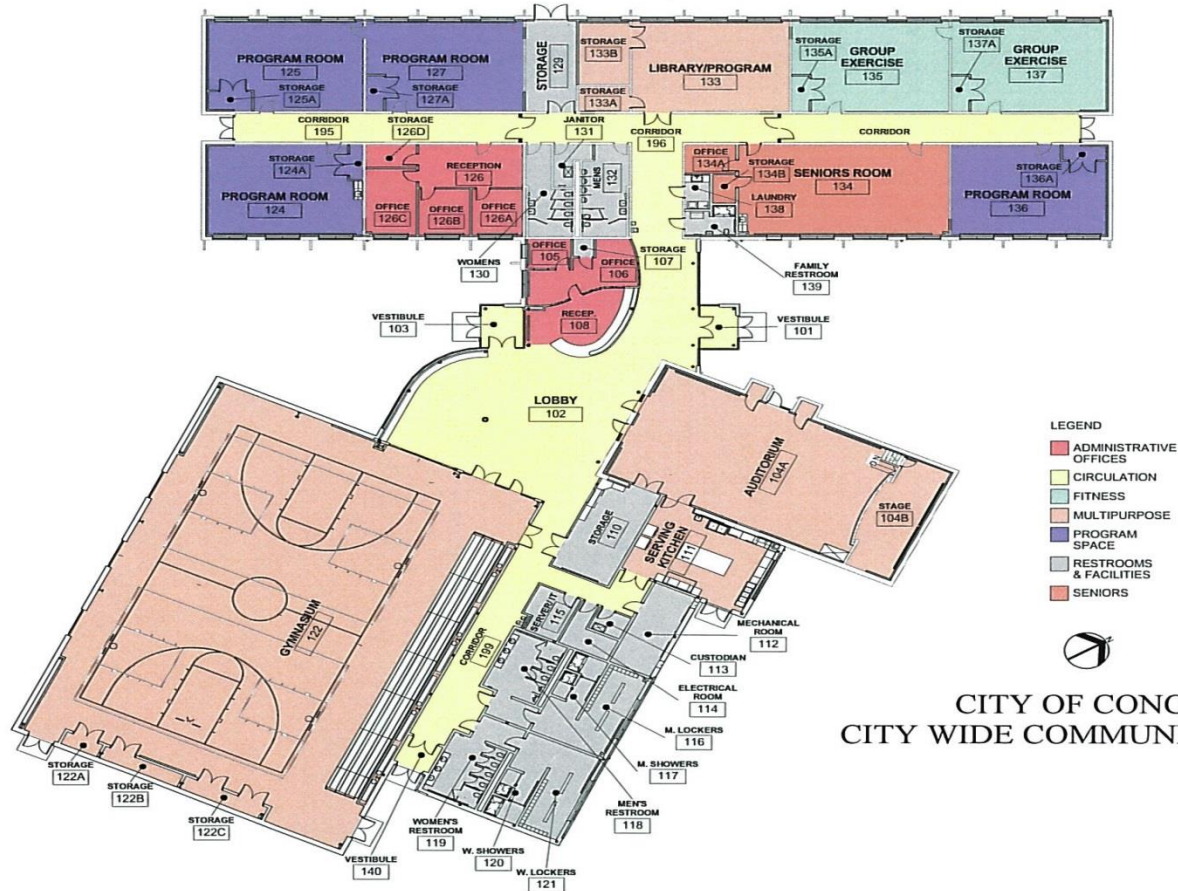




# Multi-Generational Community Center Project



# Multi-Generational Community Center Project



- LEGEND
- ADMINISTRATIVE OFFICES
  - CIRCULATION
  - FITNESS
  - MULTIPURPOSE
  - PROGRAM SPACE
  - RESTROOMS & FACILITIES
  - SENIORS



CITY OF CONCORD  
CITY WIDE COMMUNITY CENTER

TURNER  
GROUP

The plan shows a roundabout with a central island containing trees and a small water feature. The roundabout is surrounded by green spaces and a road layout. Street names include SHAWMUT ST, LUDWIG B. CHEA BLVD, and CONCORD ST. The plan also shows a high chain link fence and a parking area. The design is by Ironwood Landscape Architecture + Planning, dated May 2016.

**Ironwood**  
Landscape Architecture + Planning  
Beverly Hills, New Hampshire | Portland, Maine  
603.772.5555 | www.Ironwood.com

**City of Concord, NH**  
Exit 16 Roundabout  
CIP #24

**CMA**  
ENGINEERS  
CMA ENVIRONMENTAL ENGINEERS  
100 Main Street  
Portland, ME 04101  
Phone: 603.772.5555  
Fax: 603.772.5556  
www.cmaengineers.com

**DESIGNED BY**  
JAN, JH  
**DATE**  
May 2016  
**PROJECT NO.**  
CIP #24  
**SCALE**  
1" = 40'

**ISSUED FOR CONTRACTOR REVIEW**  
2016.05.10  
**REVISION**  
1  
**DATE**  
2016.05.10  
**BY**  
JAN, JH  
**FOR**  
CIP #24

City of Concord, NH

t 16 Roundabout  
CIP #24

**Ironwood**  
Landscape Architecture + Planning  
Newmarket, New Hampshire | Portland, Maine  
603.772.8595 [www.FeWood.com](http://www.FeWood.com)

drawing no.		
sheet:	of	0

**CMA**

CIVIL/ENVIRONMENTAL ENGINEERS

CIVIL/ENVIRONMENTAL ENGINEERS

James Elton

35 So. Commercial St.  
Manchester, NH 03103

603627-0700

info@cmengineers.com

date:	designed by:
-------	--------------

project no:	drawn by:
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CMA-985  
wood: 15058  
JM, JRH

wood file name: P 165429  
approved by: JRH

scale:

(7) (b)(ii)

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$N = 30$

show

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47

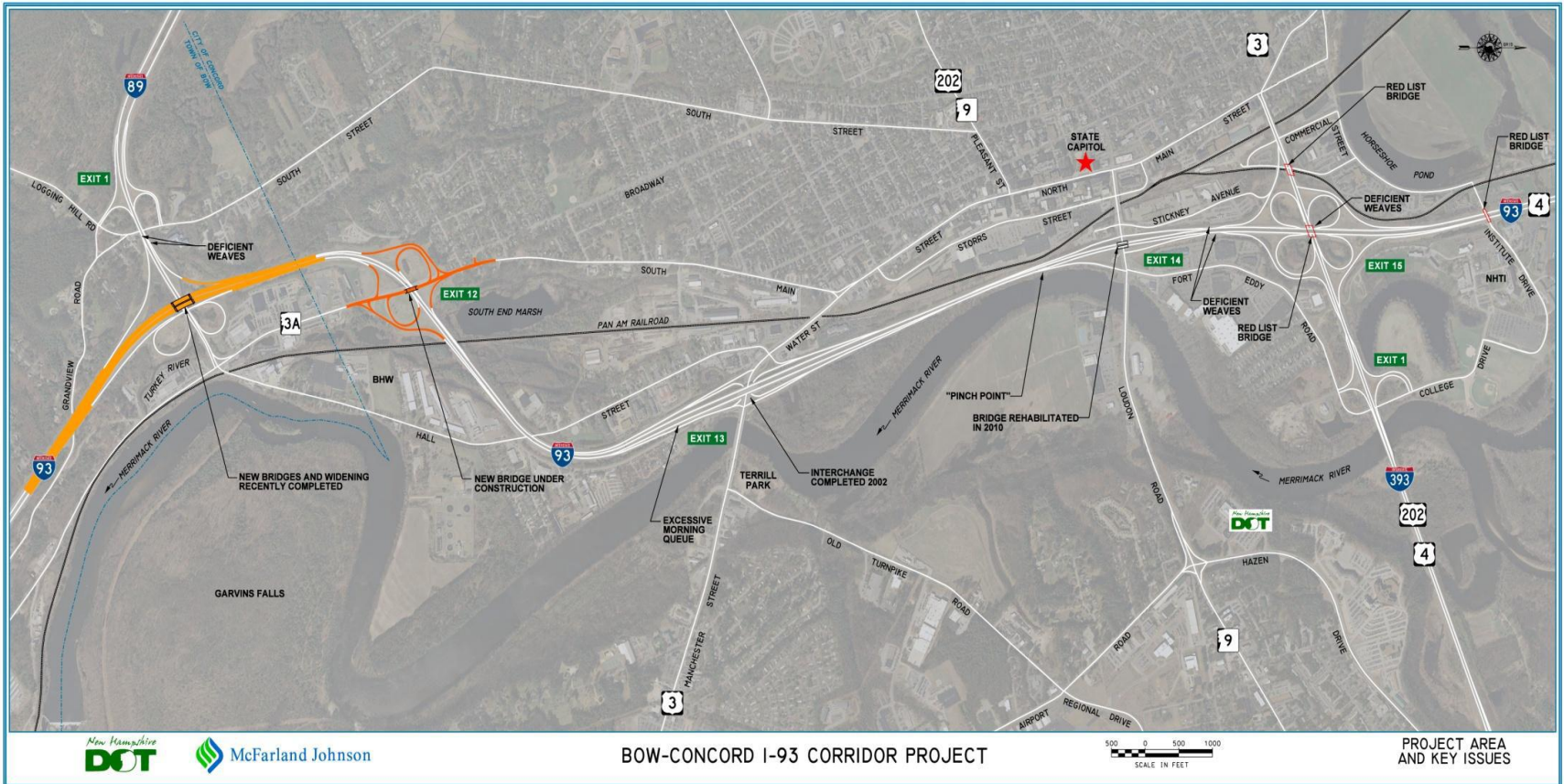
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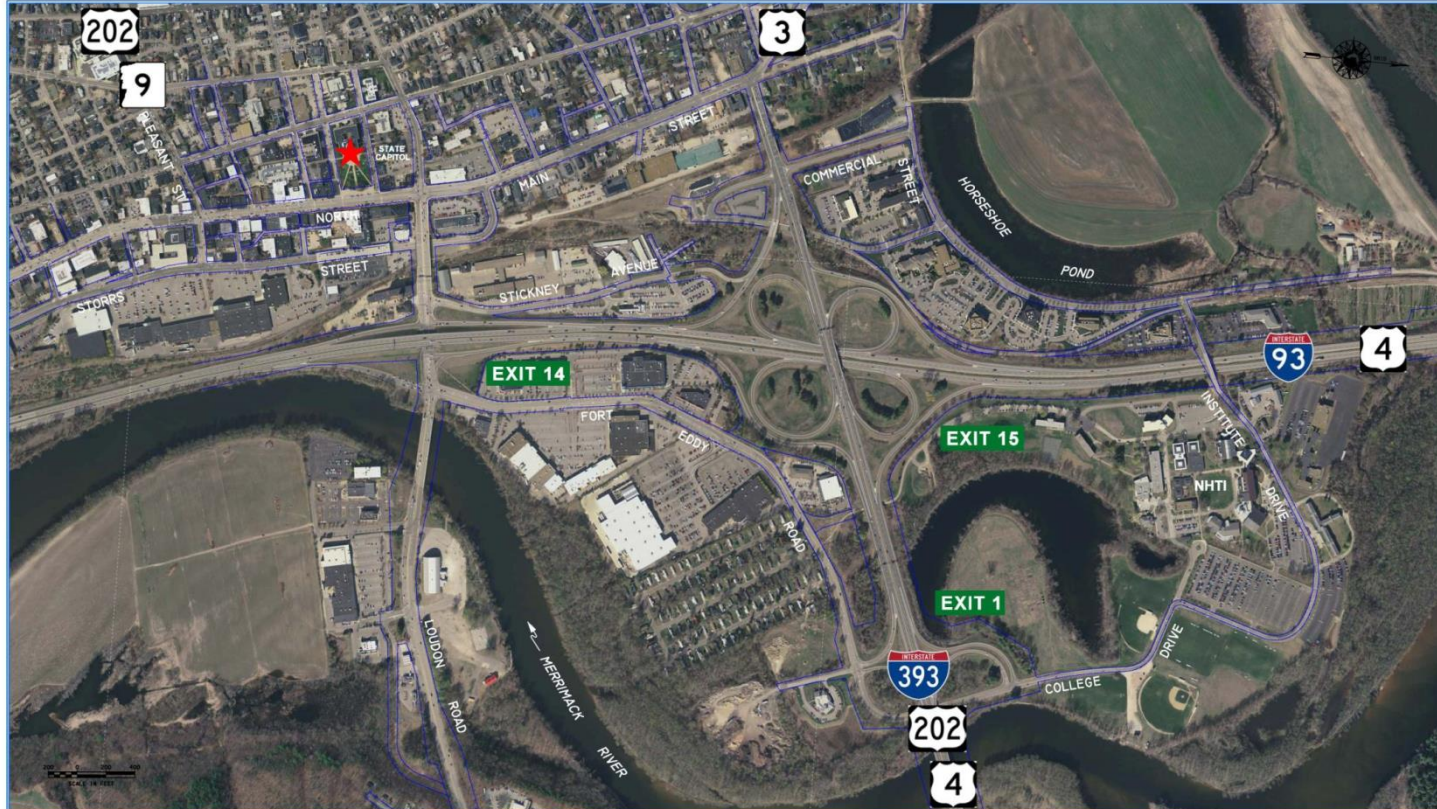
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# Bow-Concord I-93 Corridor Project



# Corridor Project: I-93 Exits 14 & 15 Section



# **Corridor Project: I-93 Exits 14 & 15 Section**

- Project should clean-up the corridor:
  - Relocate/Eliminate Unitil Substation
  - Improve Riverfront View Shed
  - Incentivize the Capital Shopping Center to Redevelop
  - Consolidate Rail Line and Beautify the Rail Corridor



# Corridor Project: I-93 Exits 14 & 15 Section



# **Corridor Project: I-93 Exits 14 & 15 Section**

- Project should enhance access to the west side of the river from downtown by lowering I-93 enough to allow for the construction of an esplanade-type overpass.
- Project should provide a “signature” multi-modal bridge to east side of river (either through replacement of current red-listed Loudon Road Bridge or construction of a new pedestrian/cyclist bridge further to the south).



# Corridor Project: I-93 Exits 14 & 15 Section

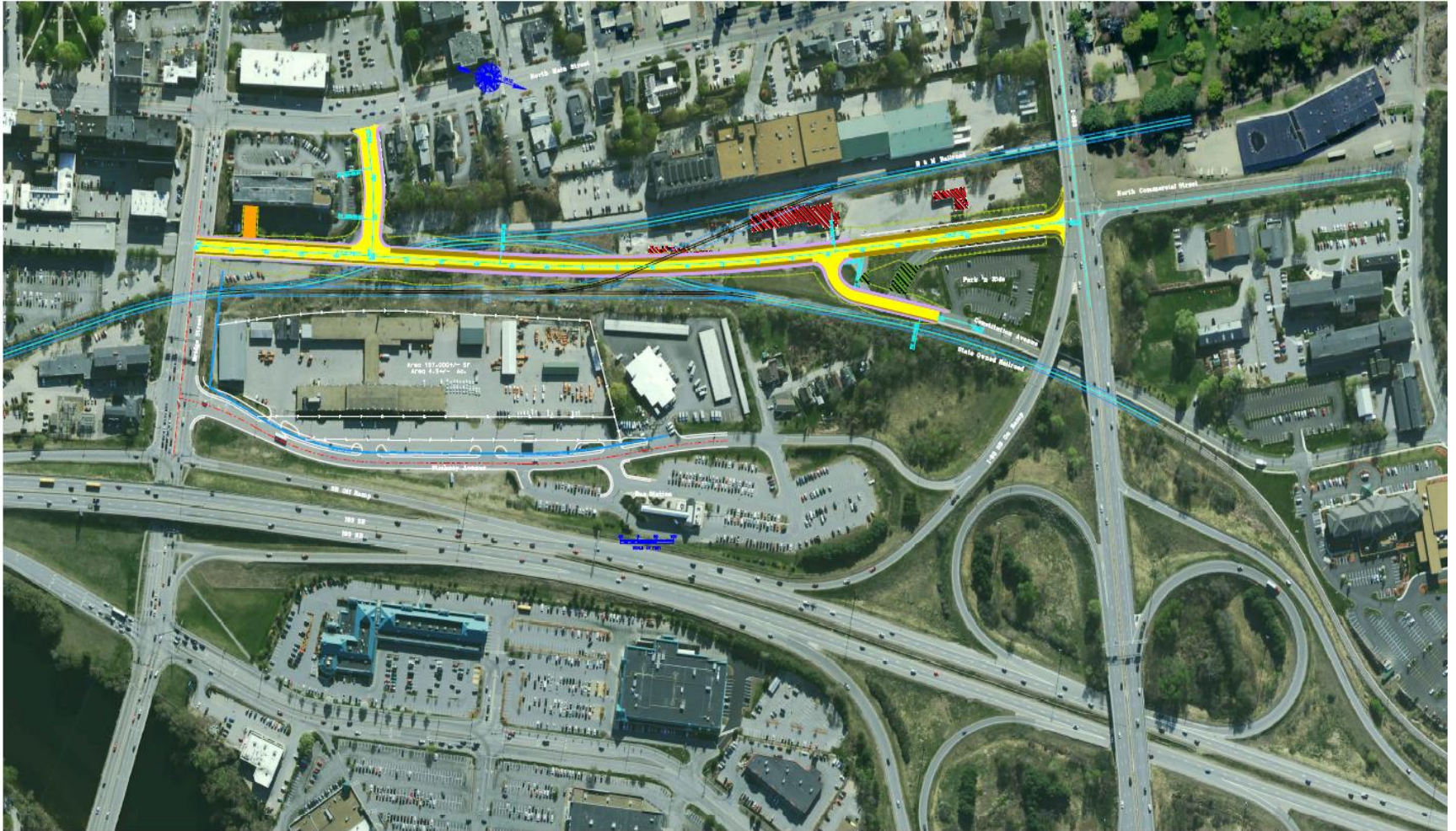


# **Corridor Project: I-93 Exits 14 & 15 Section**

- Project should maximize development potential for land between proposed Storrs Street extension and the interstate by:
  - Allowing for a relocation of Stickney Avenue but reducing this frontage road's impact by locating it as close to interstate as possible
  - Implement a multi-modal connection from Storrs Street extension to the relocated Stickney Avenue to Fort Eddy Road



# Storrs Street Extension



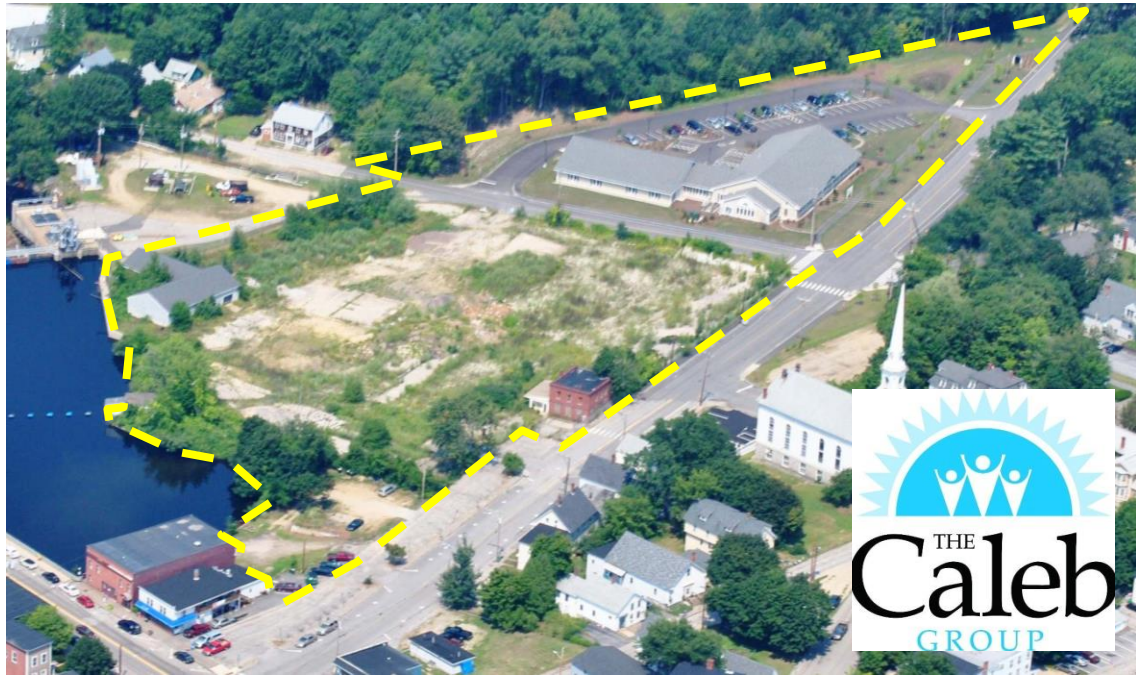
# **Corridor Project: I-93 Exits 14 & 15 Section**

- Project should pursue innovative financing (i.e. TIGER) to off-set cost of aforementioned enhancements. City is willing to take the lead on seeking such funding.



# Former Allied Leather Tannery

- **Caleb Development Corporation purchase offer; \$540,000 for 2.5+/- Acres**
- **1.5+/- Acres retained by City; potential future Riverfront Park**
- **54 Unit Affordable Housing Project**
  - 14 Two Bedroom Units
  - 40 One Bedroom Units
  - Multigenerational w/ “Senior Preference”
- **Phase 1 (30 Units) construction Spring 2019**
- **Full Build-Out 2021+/-**
  - \$3 Million New Assessed Value
  - \$115,000 New Taxes
- **City Council Public Hearing on Purchase Option Agreement May 8<sup>th</sup> @ 7PM**





# White Park Skate House



**CITY OF CONCORD**

**WHITE PARK SKATE HOUSE**

**PERSPECTIVE VIEW**

SCALE:  
DATE: 09/26/18  
PROJECT NO. 1801

PREPARED BY: H.L. TURNER GROUP, INC. ■ ARCHITECTS ■ ENGINEERS ■ BUILDING SCIENTISTS ■ 27 LOCKE RD., CONCORD, NH 03301, USA ■ 603.228.1122 ■ 603.228.1124 ■ [www.hltturner.com](http://www.hltturner.com)

**TURNER  
GROUP**

# State of the City

## City of Concord, New Hampshire



April 13, 2017

[www.concordnh.gov](http://www.concordnh.gov)

